

# **PUBLIC NOTICE**

## **REQUEST FOR PERMISSION TO ALTER A U.S. ARMY CORPS OF ENGINEERS PROJECT UNDER SECTION 408**

**TITLE:** SECAA, LLC – Construct seasonal tourism-related amenities associated with the Chelsea Beach Bar along the upland Atlantic City beachfront in Atlantic City, Atlantic County, NJ within the footprint of the Absecon Island Coastal Storm Risk Management Federal Civil Works Project.

**PUBLIC NOTICE IDENTIFICATION NUMBER:** NAP-2020-408-0002

### **PUBLIC NOTICE COMMENT PERIOD:**

Begins: **03 March 2020**

Expires: **02 April 2020**

Interested parties are hereby notified that an application has been received for a Department of the Army Section 408 permission for certain work at or near a federal project of the United States, as described below and shown on attached figures. Written comments are being solicited from anyone having an interest in the requested alteration. Comments will become part of the U.S. Army Corps of Engineers' (USACE's) administrative record and will be considered in determining whether to approve the request. Comments supporting, opposing, or identifying concerns that should be considered by the USACE in its decision process are all welcome.

This public notice is not a paid advertisement and is for public information only. Issuance of this notice does not imply USACE endorsement of the project as described.

- 1. REQUESTER:** In compliance with 33 USC 408 (Section 14 of the Rivers and Harbors Act of 1899; hereinafter Section 408), SECAA, LLC has requested permission to construct seasonal tourism-related amenities associated with the Chelsea Beach Bar along the upland Atlantic City beachfront in Atlantic City, Atlantic County, NJ. The project is sited within the footprint of the Absecon Island Coastal Storm Risk Management Federal Civil Works Project.
- 2. LOCATION:** The proposed project is located in uplands along the Atlantic Ocean beachfront between South Montpelier Avenue and South Morris Avenue in Atlantic City, Atlantic County, New Jersey.
- 3. LOCATION MAP(S)/DRAWING(S):** See attached Drawings.
- 4. REQUESTER'S PROPOSED ACTION:** Construction of seasonal tourism-related amenities associated with the Chelsea Beach Bar along the upland Atlantic City beachfront;

within the footprint of the Absecon Island Coastal Storm Risk Management Federal Civil Works Project.

**5. REGULATORY AUTHORITY:** This request will be reviewed according to the provisions of Section 14 of the Rivers and Harbors Act of 1899 (33 U.S.C. 408). A requestor has the responsibility to acquire all other permissions or authorizations required by federal, state, and local laws or regulations, including any required permits from the USACE Regulatory Program under Section 10 of the Rivers and Harbors Act of 1899 (33 USC 403), Section 404 of the Clean Water Act (33 USC Section 1344) and/or Section 103 of the Marine Protection, Research and Sanctuaries Act of 1972 (33 USC 1413). Any Section 10/404/103 permit decision associated with the proposed alteration is separate from and will not be included in the Section 408 permission decision. An approval under Section 408 does not grant any property rights or exclusive privileges nor does it authorize any injury to the property or rights of others.

**6. ENVIRONMENTAL COMPLIANCE:** A decision on a Section 408 request is a federal action, and therefore subject to the National Environmental Policy Act (NEPA) and other environmental compliance requirements. While ensuring compliance is the responsibility of USACE, the requester is providing all information that the Philadelphia District identifies as necessary to satisfy all applicable federal laws, executive orders, regulations, policies, and ordinances. Based on information provided by the applicant to date, current Corps regulations governing NEPA implementation, and/or the contents of existing NEPA documentation if available, it is likely that the proposed action will be determined to be categorically excluded from the need to prepare an Environmental Assessment (EA) or Environmental Impact Statement (EIS). This determination will be finalized following completion of agency coordination and prior to issuance of the Section 408 Permission Decision.

**7. EVALUATION:** As part of its evaluation, USACE will first make a determination that the submittal from the requestor is complete. The Philadelphia District is working closely with the requestor to ensure that all required technical plans, maps, drawings, and specifications are provided and are complete. Once the package is complete, a District-led review will be conducted to determine, in accordance with Engineering Circular (EC) 1165-2-216, whether the proposed alteration will impair the usefulness of the USACE Project or be injurious to the public interest, as follows:

- A. *Impair the Usefulness of the Project Determination.* The Philadelphia District's Section 408 review team will determine if the proposed alteration will limit the ability of the federally authorized project to function as authorized, or will compromise or change any authorized project conditions, purposes or outputs.
- B. *Injurious to the Public Interest Determination.* Proposed alterations will be reviewed to determine the probable impacts, including cumulative impacts, on the public interest. Evaluation of the probable impacts that the proposed alteration to the USACE project may have on the public interest requires a careful weighing of all those factors that are relevant in each particular case. Factors that may be relevant to the public interest depend upon the type of USACE project being altered and may include, but are not limited to, such things as conservation, economic

development, historic properties, cultural resources, environmental impacts, water supply, water quality, flood hazards, floodplains, residual risk, induced damages, navigation, shore erosion or accretion, and recreation. The decision whether to approve an alteration will be determined by the consideration of whether benefits are commensurate with risks. If the potential detriments are found to outweigh the potential benefits, then it may be determined that the proposed alteration is injurious to the public interest.

**8. SOLICITATION OF COMMENTS:** The USACE is soliciting comments from the public; federal, state, and local agencies and officials; Indian Tribes; and other interested parties in order to consider and evaluate the impacts of the proposed activity. Any comments received will be considered by USACE to determine whether to issue, modify, condition, or deny a permission for this proposal. To make this decision, comments are used to assess impacts on endangered species, historic properties, water quality, general environmental effects, and other public interest factors listed above. Comments are considered in making a final determination whether the proposed action will be categorically excluded from the need to prepare further NEPA documentation. Comments are also used to determine the need for a public hearing and to determine the overall public interest of the proposed activity.

- A. It should be noted that materials submitted as part of the Section 408 request become part of the public record and are thus available to the general public under the procedures of the Freedom of Information Act (FOIA). Individuals may submit a written request to the Philadelphia District Corps of Engineers, Office of Counsel to obtain copies of said materials under the FOIA.
- B. It is presumed that all parties viewing this notice will wish to respond to this public notice; therefore, a lack of response will be interpreted as meaning that there is no objection to the project as described.

**9. COMMENT SUBMISSION AND ADDITIONAL INFORMATION:** Written comments on the described work should reference the USACE Public Notice Identification Number found on the first page of this notice. Comments must reach this office no later than the stated expiration date of the Public Notice to become part of the record and be considered in the decision. Comments or requests for additional information should be mailed or emailed to the following address:

Email: [JuanCarlos.Corona@usace.army.mil](mailto:JuanCarlos.Corona@usace.army.mil)

Mailing Address:

U.S. Army Corps of Engineers

Philadelphia District

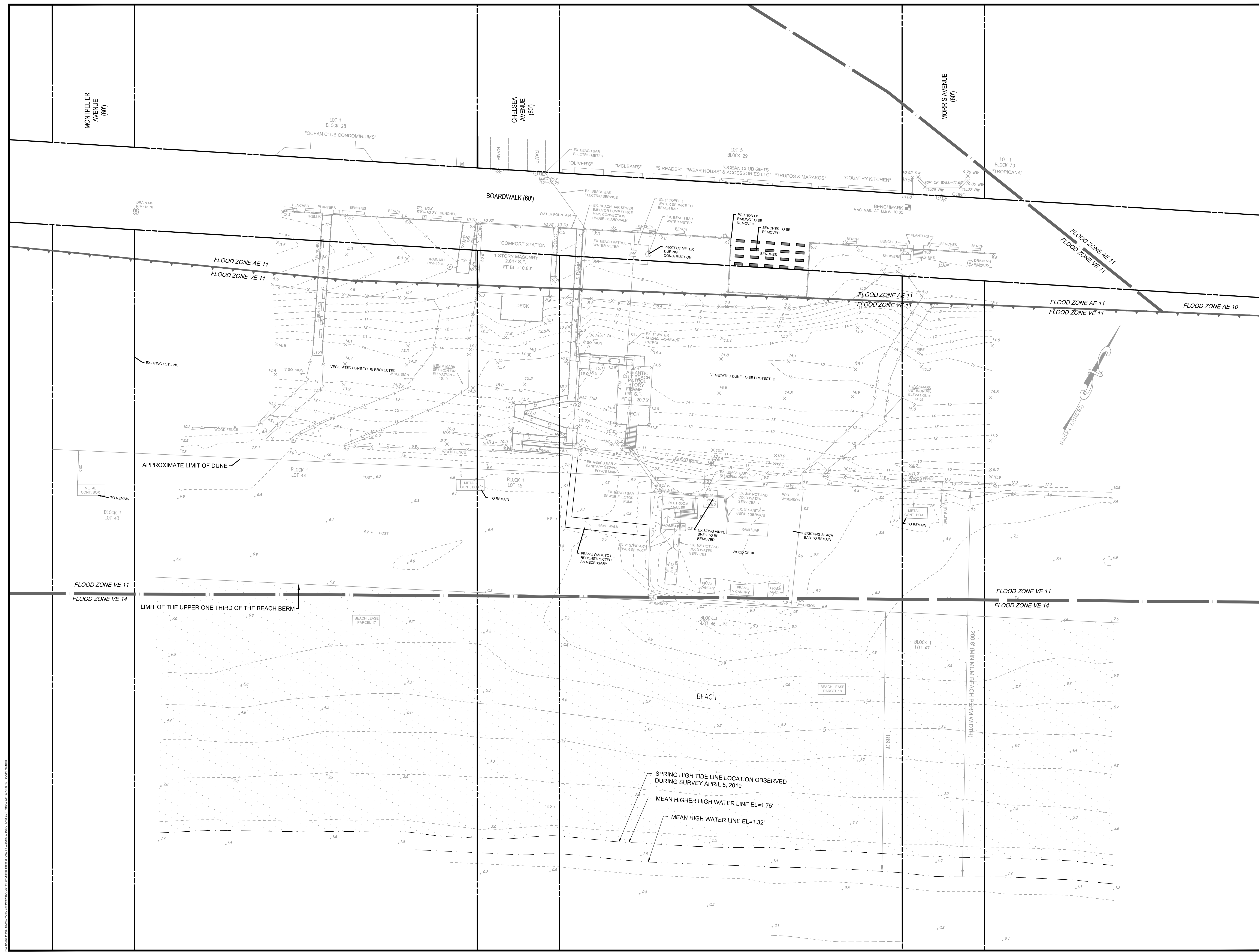
ATTN: Juan Carlos Corona

7<sup>th</sup> Floor

100 Penn Square East

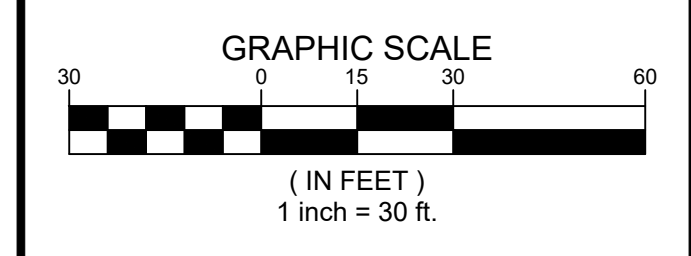
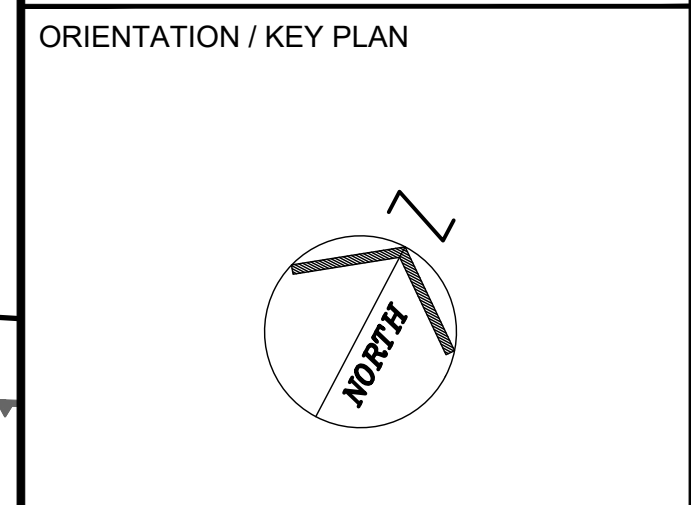
Philadelphia, PA 19107-3390





REV. / ISSUE	DATE	DESCRIPTION

CONSULTANT



APPLICANT  
 SECAA, LLC  
 3101 BOARDWALK NO. R-18  
 ATLANTIC CITY, NJ 08401

PROPERTY OWNER  
 CITY OF ATLANTIC CITY  
 1301 BACHARACH BOULEVARD  
 ATLANTIC CITY, NJ 08401

PAULUS, SOKOLOWSKI AND SARTOR, LLC.

**PSS** 1433 ROUTE 34  
 SUITE A4  
 WALL, NJ 07727  
 PHONE: (848) 206-2626

CERTIFICATE OF AUTHORIZATION NO. 24GA26532700

ALL DIMENSIONS MUST BE VERIFIED BY THE CONTRACTOR. NOTIFY PAULUS, SOKOLOWSKI AND SARTOR, LLC OF ANY CONFLICTS, ERRORS, OMISSIONS OR DISCREPANCIES IN THE CONTRACT DRAWINGS OR SPECIFICATIONS BEFORE PROCEEDING WITH CONSTRUCTION.  
 ALL DIMENSIONS SHALL BE AS NOTED IN WORDS OR NUMBERS ON THE CONTRACT DRAWINGS. DO NOT SCALE THE DRAWINGS TO DETERMINE DIMENSIONS.  
 THESE CONTRACT DRAWINGS CONTAIN DATA INTENDED SPECIFICALLY FOR THE NOTED PROJECT AND CLIENT. THEY ARE NOT INTENDED FOR USE ON EXTENDING OF THIS PROJECT OR FOR REUSE ON ANY OTHER PROJECT.  
 THE COPYING AND/OR MODIFICATION OF THIS DOCUMENT OR ANY PORTION THEREOF WITHOUT THE WRITTEN PERMISSION OF PAULUS, SOKOLOWSKI AND SARTOR, LLC IS PROHIBITED.  
 UNLESS THESE DRAWINGS ARE SPECIFICALLY DESIGNATED AS "CONSTRUCTION ISSUE", THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION OR IMPROVEMENTS DERIVED HEREIN. CONTRACTORS SHALL NOTIFY THE DESIGN ENGINEER TO OBTAIN CONSTRUCTION DOCUMENTS.  
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MARK S. CIFELLI, P.E.  
 PROFESSIONAL ENGINEER  
 N.J. LIC. NO. 049269

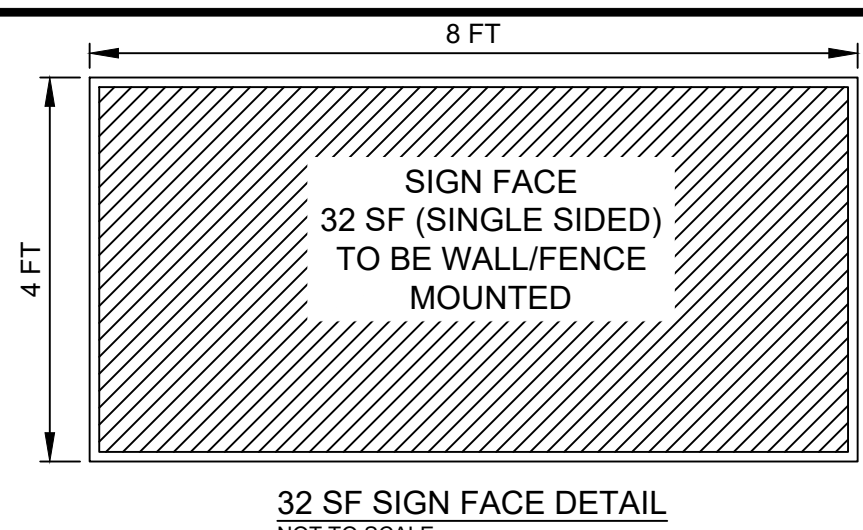
*[Signature]* 1/29/20  
 SIGNATURE DATE

PROJECT  
 PRELIMINARY/FINAL MAJOR  
 SITE PLANS  
 CHELSEA BEACH BAR

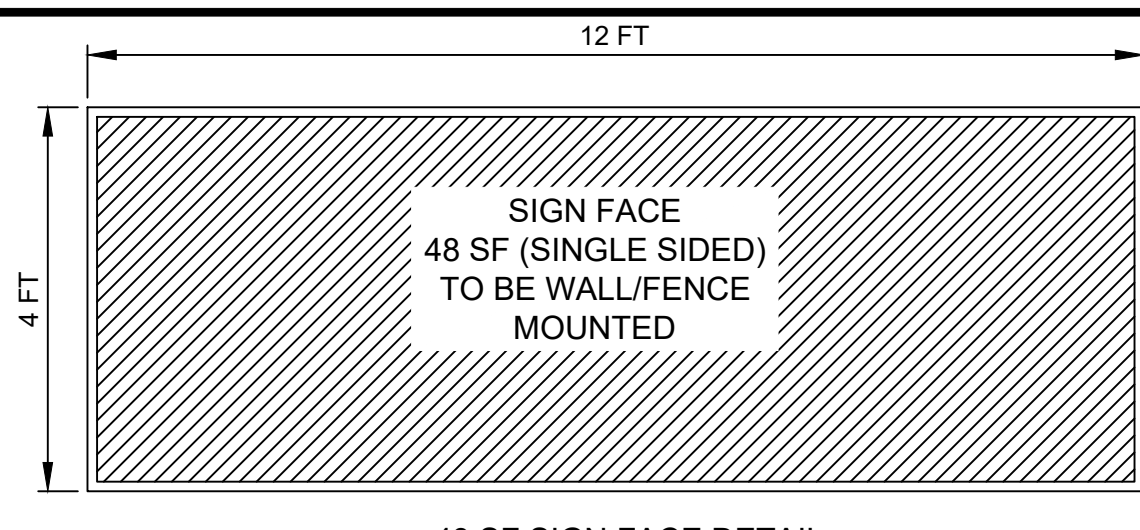
BLOCK 1, LOTS 43 TO 47  
 CITY OF ATLANTIC CITY, ATLANTIC COUNTY, NEW JERSEY

SHEET TITLE  
 EXISTING CONDITIONS  
 &  
 DEMOLITION PLAN

PROJECT NO.: 06578-0001 DRAWN BY: JM  
 SCALE: CHECKED BY: MSC  
 DATE: 1/29/20 SHEET 2 OF 5  
 SHEET NO. **C-02**



32 SF SIGN FACE DETAIL  
NOT TO SCALE



48 SF SIGN FACE DETAIL  
NOT TO SCALE

- NOTES:
1. SIGN TO BE WALL OR FENCE MOUNTED
  2. SIGNS TO BE LOCATED AS SHOWN ON THE PLANS
  3. SIGNS MAY BE INTERNALLY BACKLIT, WITH A MAX BRIGHTNESS OF 5,000 NITS DURING DAYLIGHT AND 250 NITS AT NIGHT HOURS. DISPLAY SHALL AUTOMATICALLY ADJUST BRIGHTNESS.
  4. ALL ELECTRICAL ELEMENTS OF SIGNAGE SHALL BE IN ACCORDANCE WITH THE ATLANTIC CITY ELECTRICAL CODE, AND SHALL HAVE A UL LABEL AFFIXED TO THE SIGN.
  5. STRUCTURAL ELEMENTS OF THE SIGNS SHALL BE IN ACCORDANCE WITH THE BUILDING CODE. STRUCTURAL ELEMENTS SHALL NOT EXTEND ABOVE THE SIGN FACE.
  6. MOUNTING HEIGHT SHALL BE AS REQUIRED TO NOT OBSTRUCT INGRESS/EGRESS WHERE MOUNTED OVER AN ENTRANCE.
  7. SIGNS SHALL BE MADE OF INCOMBUSTIBLE MATERIAL.

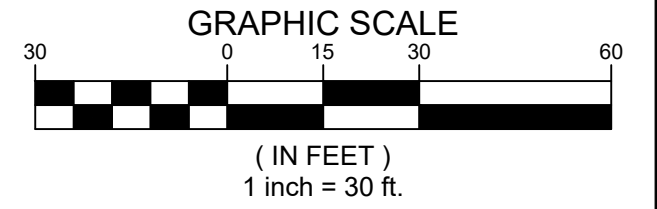
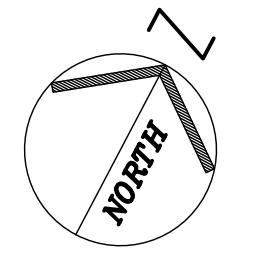
SIGNAGE TABLE			
LOT	TYPE	SF	% OF WALL AREA
43	N/A	N/A	0%
44	WALL	32 SF	19%
45	WALL	32 SF	12%
46 (BEACH)	TWO (2) EX. WALL	64 SF ±	8%
46 (BRDWALK)	WALL	48 SF	14%
47	N/A	N/A	0%

NOTE: WALL AREA HAS BEEN CALCULATED BASED ON THE FENCE/RAIL LENGTH AND HEIGHT WHERE THE SIGN WILL BE MOUNTED.

REV. / ISSUE	DATE	DESCRIPTION

CONSULTANT

ORIENTATION / KEY PLAN



APPLICANT

SECAA, LLC  
3101 BOARDWALK N. R-18  
ATLANTIC CITY, NJ 08401

PROPERTY OWNER

CITY OF ATLANTIC CITY  
1301 BACHARACH BOULEVARD  
ATLANTIC CITY, NJ 08401

PAULUS, SOKOLOWSKI AND SARTOR, LLC.

**PSS** 1433 ROUTE 34  
SUITE A4  
WALL, NJ 07727  
PHONE: (848) 206-2626  
CERTIFICATE OF AUTHORIZATION NO. 24GA26532700

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MARK S. CIFELLI, P.E.  
PROFESSIONAL ENGINEER  
N.J. LIC. NO. 049269

*[Signature]* 1/29/20  
SIGNATURE DATE

PROJECT  
PRELIMINARY/FINAL MAJOR  
SITE PLANS  
CHELSEA BEACH BAR

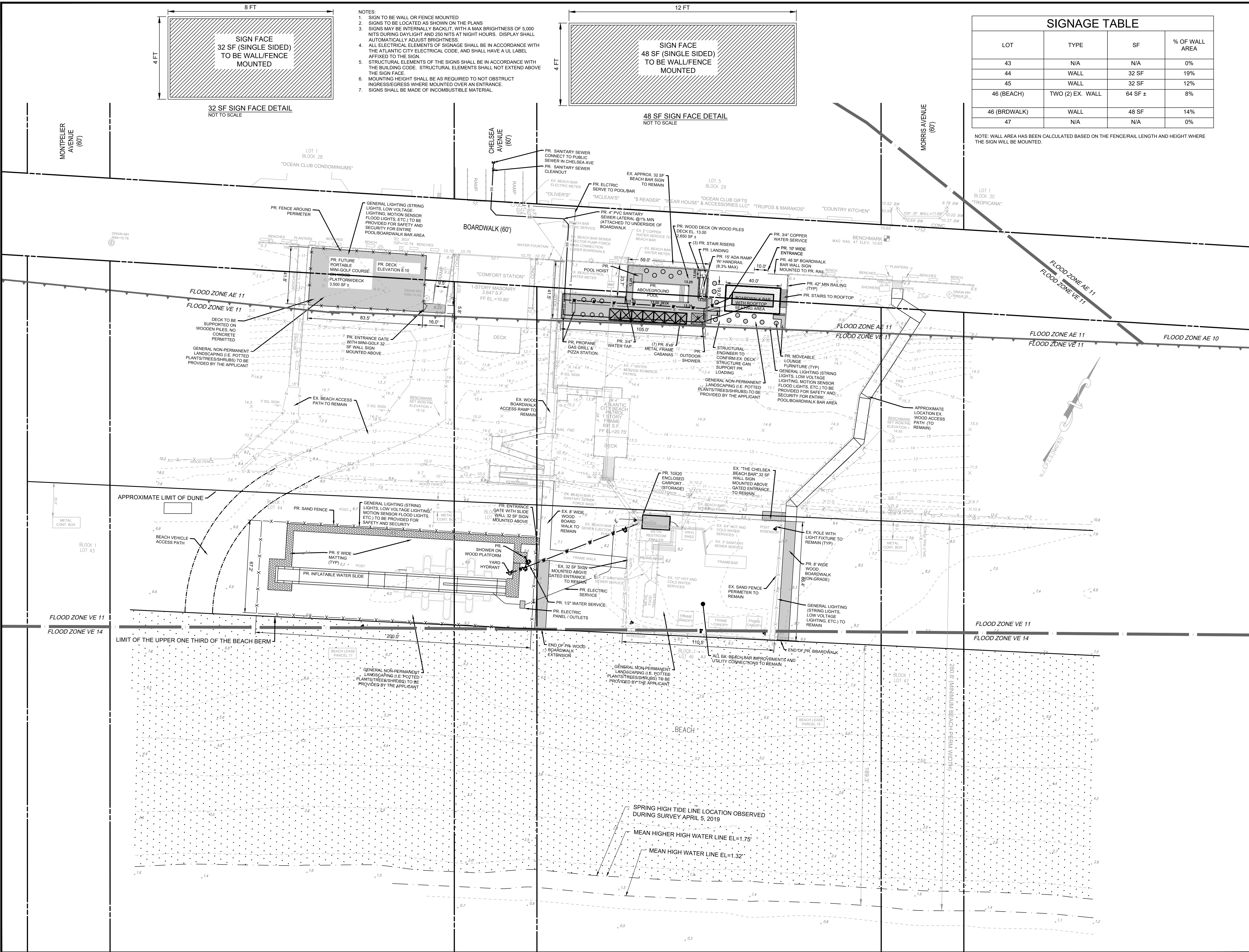
BLOCK 1, LOTS 43 TO 47  
CITY OF ATLANTIC CITY, ATLANTIC COUNTY, NEW JERSEY

SHEET TITLE

SITE DIMENSIONS  
&  
PERMITTING PLAN

PROJECT NO.: 06578-0001 DRAWN BY: JM  
SCALE: 1"=30' CHECKED BY: MSC  
DATE: 1/29/20 SHEET 3 OF 5  
SHEET NO.

C-03





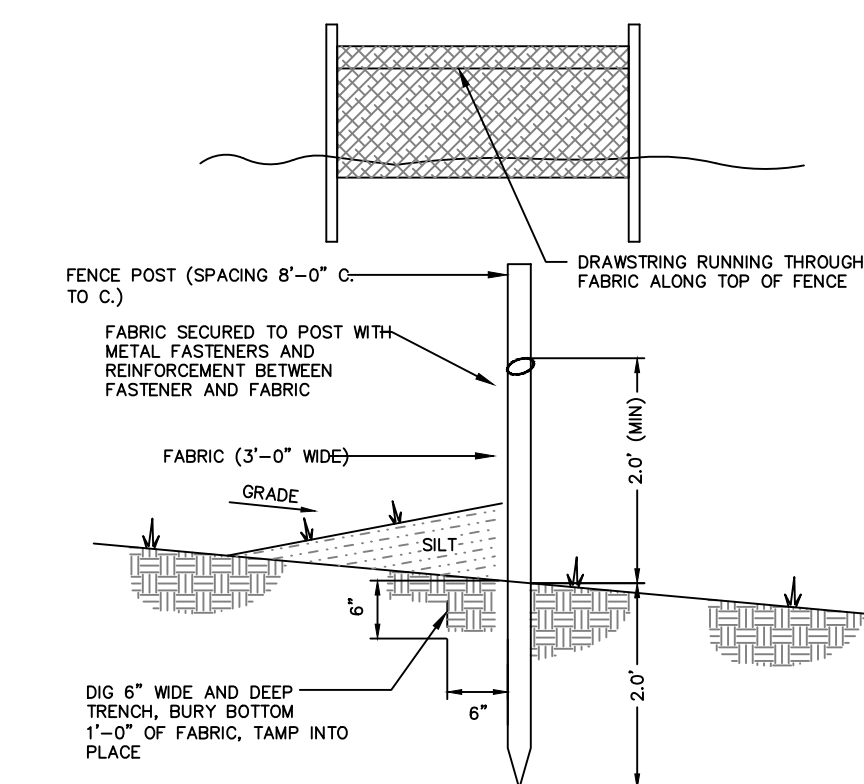
**SOIL EROSION AND SEDIMENT CONTROL NOTES**

1. ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATION AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
2. SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
3. APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.
4. THE CONTRACTOR SHALL PERFORM ALL WORK, FURNISH ALL MATERIALS AND INSTALL ALL MEASURES REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND PREVENT EXCESSIVE FLOW OF SEDIMENT FROM THE CONSTRUCTION SITE.
5. ANY DISTURBED AREA THAT IS TO BE LEFT EXPOSED FOR MORE THAN THIRTY DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND FERTILIZATION IN ACCORDANCE WITH THE NEW JERSEY STANDARDS AND THEIR RATES SHOULD BE INCLUDED IN THE NARRATIVE. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).
6. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
7. ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
8. A CRUSHED STONE, THE CLEANING PAD WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS EXISTS. THE STABILIZED PAD WILL BE INSTALLED ACCORDING TO THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS.
9. PAVED AREAS MUST BE KEPT CLEAN AT ALL TIMES.
10. ALL CATCH BASIN INLETS WILL BE PROTECTED ACCORDING TO THE CERTIFIED PLAN.
11. ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
12. ALL Dewatering OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA. THE SEDIMENT FILTER SHALL BE COMPOSED OF A SUITABLE SEDIMENT FILTER FABRIC. (SEE DETAIL). THE BASIN MUST BE DEWATERED TO NORMAL POOL WITHIN 10 DAYS OF THE DESIGN STORM.
13. N.J.S.A. 4:24-39, ET SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE ALL PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES. ALL SITE WORK FOR THE PROJECT MUST BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE AS A PREREQUISITE TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
14. MULCHING IS REQUIRED ON ALL SEEDED AREAS TO INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATION COVER.
15. OFFSITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE EROSION CONTROL INSPECTOR.
16. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.
17. THE CAPE ATLANTIC SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED 72 HOURS PRIOR TO ANY LAND DISTURBANCE.
18. ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ANY SUBSEQUENT OWNERS.
19. IMMEDIATELY AFTER THE COMPLETION OF STOPPING AND STOOPING OF TOPSOIL, THE STOCKPILE MUST BE STABILIZED ACCORDING TO THE STANDARD FOR TEMPORARY VEGETATIVE COVER. STABILIZE TOPSOIL STOCKPILE WITH STRAW MULCH FOR PROTECTION IF THE SEASON DOES NOT PERMIT THE APPLICATION AND ESTABLISHMENT OF TEMPORARY SEEDING. ALL SOIL STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY (50) FEET OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY AND THE BASE MUST BE PROTECTED WITH A SEDIMENT BARRIER.
20. ANY CHANGES TO THE SITE PLAN WILL REQUIRE THE SUBMISSION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN TO THE CAPE ATLANTIC SOIL CONSERVATION DISTRICT. THE REVISED PLAN MUST BE IN ACCORDANCE WITH THE CURRENT NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
21. METHODS FOR THE MANAGEMENT OF HIGH ACID PRODUCING SOILS SHALL BE IN ACCORDANCE WITH THE STANDARDS. HIGH ACID PRODUCING SOILS ARE THOSE FOUND TO CONTAIN IRON SULFIDES OR HAVE A pH OF 4 OR LESS.
22. TEMPORARY AND PERMANENT SEEDING MEASURES MUST BE APPLIED ACCORDING TO THE NEW JERSEY STANDARDS AND MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).
23. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
24. DUST IS TO BE CONTROLLED BY AN APPROVED METHOD ACCORDING TO THE NEW JERSEY STANDARDS AND MAY INCLUDE WATERING WITH A SOLUTION OF CALCIUM CHLORIDE AND WATER.
25. ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS ON THE PROPOSED SITE.
26. USE STAGED CONSTRUCTION METHODS TO MINIMIZE EXPOSED SURFACES, WHERE APPLICABLE.
27. ALL VEGETATIVE MATERIAL SHALL BE SELECTED IN ACCORDANCE WITH AMERICAN STANDARDS FOR NURSERY STOCK OF THE AMERICAN ASSOCIATION OF THE NURSERYMAN AND IN ACCORDANCE WITH THE NEW JERSEY STANDARDS.
28. NATURAL VEGETATION AND SPECIES SHALL BE RETAINED WHERE SPECIFIED ON THE LANDSCAPING PLAN.
29. THE SOIL EROSION INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.
30. A REPORT OF COMPLIANCE MUST BE OBTAINED FROM THE DISTRICT PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY FROM THE MUNICIPALITY. A REQUEST TO THE DISTRICT INSPECTOR FOR THE RELEASE OF A REPORT OF COMPLIANCE MUST BE MADE 5 WORKING DAYS IN ADVANCE. THIS APPLIES TO BOTH COMPLETE (FINAL) AND CONDITIONAL (TEMPORARY) CERTIFICATES. ALL STREETS AND UNITS MUST BE PROPERLY IDENTIFIED. A REPORT OF COMPLIANCE WILL NOT BE RELEASED FOR A UNIT IF IT CAN NOT BE IDENTIFIED. IDENTIFY ALL UNITS AT THE SITE BY BLOCK, LOT AND STREET ADDRESS.
31. REMOVE ANY SEDIMENT THAT MAY BE SPILLED, DROPPED, OR TRACKED OFF THE PROJECT SITE. ALL PAVED ROADWAYS MUST BE MAINTAINED IN A CLEAN, SHEET CONDITION THROUGHOUT CONSTRUCTION. INSTALL CRUSHED STONE PAD(S) TO HELP REDUCE OFF-SITE TRACKING OF SEDIMENT.
32. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

**CONSTRUCTION SEQUENCE**

	WEEK TO WEEK
1. CONTACT THE SOIL CONSERVATION DISTRICT, IN WRITING, A MINIMUM OF 72 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES.	0 1
2. INSTALL SOIL EROSION AND SEDIMENT CONTROL MEASURES I.E. SILT FENCE, SNOW FENCE, CONSTRUCTION ENTRANCE, STAGING AREA. DISTURB ONLY MINIMUM AREA NEED TO INSTALL ALL MEASURES.	0 1
3. REMOVE EXISTING SITE IMPROVEMENTS	1 2
4. INSTALL UTILITIES	2 3
5. INSTALL WOOD PILES, DECKING, PLATFORMS, BAR, AND POOL	2 6
6. CONTACT THE SOIL CONSERVATION DISTRICT FOR FINAL INSPECTION.	6 6

NOTE: SEQUENCE OF CONSTRUCTION IS APPROXIMATE AND SUBJECT TO WEATHER CONDITIONS, LABOR AND MATERIAL AVAILABILITY.

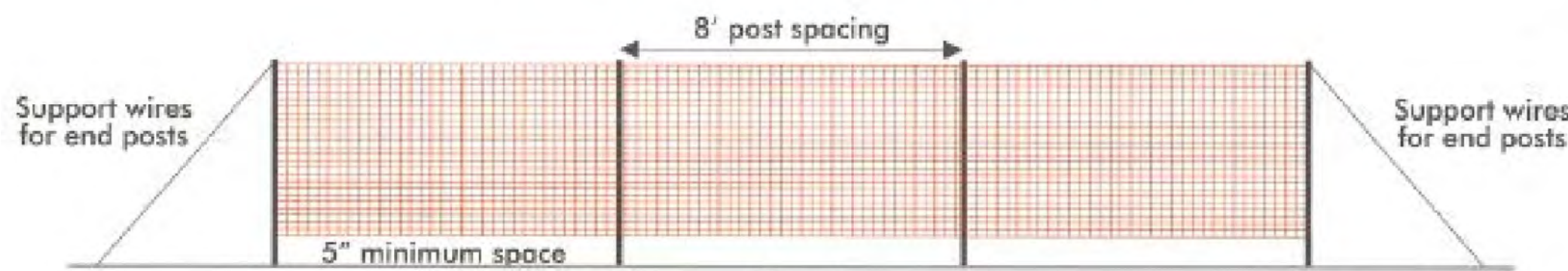


NOTE: SILT FENCE IS NOT DEPICTED ON THE PLANS. IT SHALL BE INSTALLED PER THIS DETAIL IF AND WHERE DIRECTED BY THE SOIL CONSERVATION DISTRICT.

**SILT FENCE DETAIL**

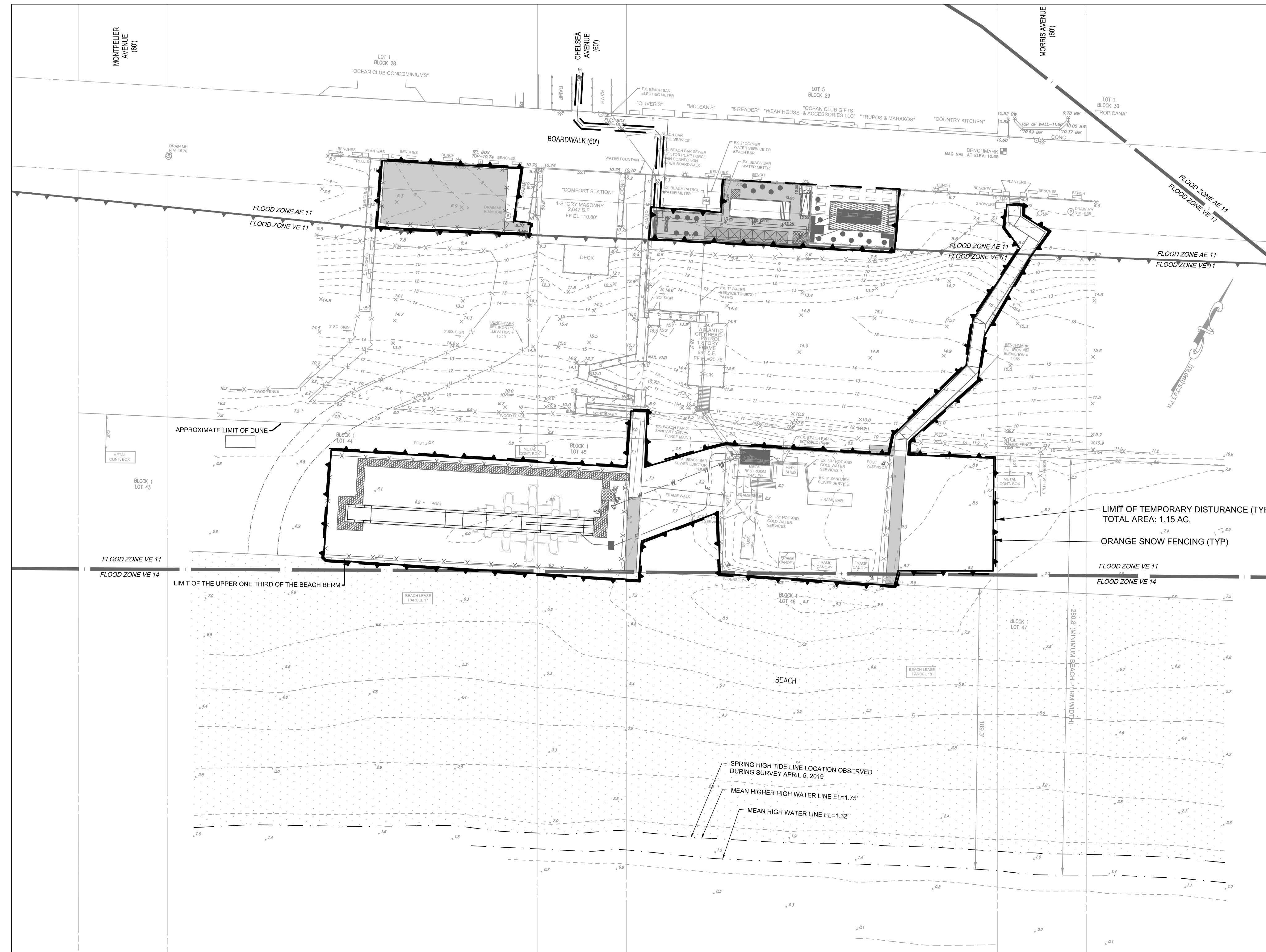
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**Installing Snow Fence**



**ORANGE SNOW FENCE DETAIL**

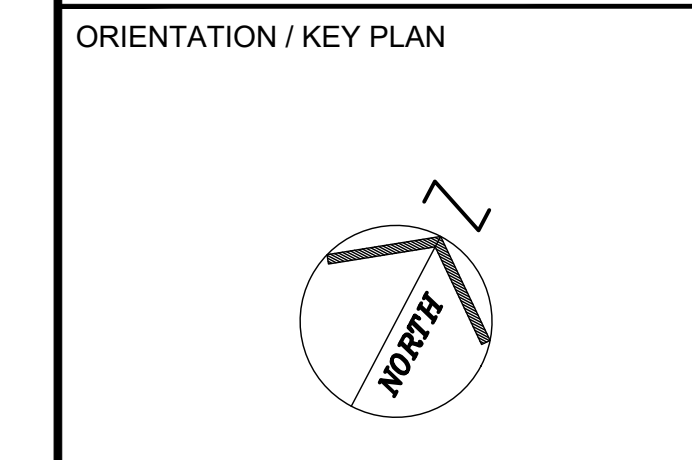
NOT TO SCALE



**SOIL EROSION & SEDIMENT CONTROL PLAN**  
SCALE: 1"=40'

REV. / ISSUE	DATE	DESCRIPTION

CONSULTANT



GRAPHIC SCALE  
(IN FEET)  
1 inch = 20 ft.

APPLICANT  
SECAA, LLC  
3101 BOARDWALK N. R-18  
ATLANTIC CITY, NJ 08401

PROPERTY OWNER  
CITY OF ATLANTIC CITY  
1301 BACHARACH BOULEVARD  
ATLANTIC CITY, NJ 08401

PAULUS, SOKOLOWSKI AND SARTOR, LLC.  
**PSS**  
1433 ROUTE 34  
SUITE A4  
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PHONE: (848) 206-2626  
CERTIFICATE OF AUTHORIZATION NO. 24GA26032700

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**MARK S. CIFELLI, P.E.**  
PROFESSIONAL ENGINEER  
N.J. LIC. NO. 049269  
*[Signature]*  
1/29/20  
SIGNATURE DATE

PROJECT  
**PRELIMINARY/FINAL MAJOR SITE PLANS**  
**CHELSEA BEACH BAR**

BLOCK 1, LOTS 43 TO 47  
CITY OF ATLANTIC CITY, ATLANTIC COUNTY, NEW JERSEY

SHEET TITLE  
**SOIL EROSION & SEDIMENT CONTROL PLAN & DETAILS**

PROJECT NO.: 06578-0001 DRAWN BY: JM  
SCALE: AS SHOWN CHECKED BY: MSC  
DATE: 1/29/20 SHEET 5 OF 5  
SHEET NO.

**C-05**